

DOCUMENT 00900

Bid Package 7.20 Curbs Gutters and Sidewalk – ADDENDUM NO. 5 (3/12/10)

1. Summary

- A. This Addendum forms a part of the Subcontract Documents and modifies the original Bidding Documents as noted below. In the case of difference with previous addenda, this addendum takes precedence. It is the responsibility of the Subcontractor to notify all parties from whom he accepts proposal for all changes in the Contract Documents covering this project. All other conditions remain unchanged. Acknowledge receipt of this addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.
- B. Addendum Issued by:
- | | | |
|-------------------------|--------|----------------|
| Jessica Vass | Phone: | (415) 693-9982 |
| Bovis Lend Lease, Inc. | | |
| 71 Stevenson Street, | Fax | (415) 693-9983 |
| San Francisco, CA 94105 | | |

2. REVISIONS TO THE BID DOCUMENTS:

NEW BID DATE: The new bid date for Bid Package 7.20 Curbs Gutters and Sidewalks is Tuesday, March 23, 2010 at 2:30pm.

- A. **Replace** Exhibit "B.1" in its entirety. The revised Exhibit "B.1" is attached and is part of this scope. (9 pgs dated 3/12/10). Subcontractor is responsible for all ~~striketrough~~ and **red, bold** text changes.

End of Addendum # 5

BID FORM – Package 7.20

Concrete Sidewalks, Curbs, Gutters

FOR: **CHINATOWN/ NORTH BEACH CAMPUS, Main Building and Annex Building CCSF Project 107A**

DISTRICT: Facilities Planning and Construction
CITY COLLEGE OF SAN FRANCISCO
50 Phelan Ave., S-142 (BIDS TO BOVIS OFFICE)
San Francisco, CA 94112

CONTRACTOR: Bovis Lend Lease, Inc.
71 Stevenson, Street, Suite 800
San Francisco, CA 94105

**BIDS DUE: Tuesday, March 23, 2010 at 2:30pm at the Bovis Lend Lease's Main Office
71 Stevenson St Suite 800**

BID FROM:

(Name of Bidder)

(Address)

_____, _____
(City) (State) (Zip Code)

(Telephone Number) (Fax)

License Classification # _____

Note: All portions of this Bid Form must be completed and the Bid Form must be signed before the Bid is submitted. Failure to do so will result in the Bid being rejected as non-responsive.

1.0 BIDDER'S REPRESENTATIONS

Bidder, in executing this Bid Form, represents that a) it, and all Subcontractors, regardless of tier, have the appropriate current and active Contractor's license required by the State of California and the Bidding Documents; b) it has carefully read and examined the Bid Documents for the proposed Work on this Project; c) it has examined the site of the proposed Work and all Information Available to Bidders; d) it has become familiar with all the conditions related to the proposed Work, including the availability of labor, materials, and equipment; e) it agrees to comply with and fulfill all requirements of the Bid Documents including but not limited to those of the Project Labor Agreement, the Labor Compliance Program and the SBE program. Bidder hereby offers to furnish all labor, materials, equipment, tools, transportation, and services necessary to complete the proposed Work on this Project in accordance with the Contract Documents for the sums quoted. Bidder further agrees that it will not withdraw its Bid within 120 days after the Bid Deadline, and that, if it is selected as the apparent responsive and responsible low Bidder, that it will, within 10 days after receipt of notice of award, sign and deliver to CM/Contractor the Agreement in triplicate and furnish to District all items required by the Bidding Documents. If awarded the Contract, Bidder agrees to complete the proposed Work within the number of days identified in the

District's Schedule after the date of commencement specified in the Notice to Proceed.

2.0 ADDENDA

Bidder acknowledges that it is Bidder's responsibility to ascertain whether any Addenda have been issued and if so, to obtain copies of such Addenda from District's Facility at the appropriate address stated on Page 1 of this Bid Form. Bidder therefore agrees to be bound by all Addenda that have been issued for this Bid.

Bidder acknowledges receipt of the following addenda (list numbers and dates):

Addendum No. _____ Date _____
Addendum No. _____ Date _____
Addendum No. _____ Date _____
Addendum No. _____ Date _____
Addendum No. _____ Date _____
Addendum No. _____ Date _____
Addendum No. _____ Date _____
Addendum No. _____ Date _____

3.0 SUBCONTRACT SUM

The sum of the Bid Items listed shall include all cost related to the scope of work identified in the Bid Documents for this Bid Package.

ITEM	BID ITEM DESCRIPTION	Amount in US dollars
A	All <u>Concrete Sidewalks, Curbs Gutters, Striping and Graphics</u> work as described in Exhibit B.1 and the Contract Documents. This will be the basis of award if awarded (exclude payment & performance bond premiums)	\$
	SUBTOTAL LUMP SUM BID (Item A) = BASIS OF AWARD	\$

1.	Value of Lot 9/10 Main building (For accounting purpose only)	\$
2.	Value of Lot 5 Annex building (For accounting purpose only)	\$
3.	Total to match line A above	\$

Name of the Bonding Company is:

3.1 ALTERNATES (from Contract Documents and Exhibit B.1)

1.	None.	\$
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3.2 UNIT PRICES

NO.	UNIT PRICE DESCRIPTION	UNIT	Amount in dollars
1.	None	each	\$

4.0 BASIS FOR DETERMINATION OF APPARENT LOW BID

The basis for determination of the apparent low bidder shall be the sum of all Bid Items, as adjusted by SBE Bid Discount if applicable. The District's policy is to give a Bid Discount to firms whose "Yes" answer to one of the following questions is determined to be valid:

For Bid Packages where a "**SBE participation goal**" is stated:

- a. For Bid Packages where a "SBE participation goal" is stated (**25% for this package**), Bidder hereby attests that he meets the goal stated and is eligible for the Bid Discount.

Yes No Percent Achieved _____%

OR

b. For Bid Packages where "SBE participation goal" reads "**No Goal**", Bidder hereby attests that he is eligible for the Bid Discount because Bidder has achieved 10% participation.

Yes No

5.0 LIST OF SUBCONTRACTORS

Whether or not Bidder will use Subcontractors for the work included in this Bid, Bidder is required to attach a completed List of Subcontractors Form 00435 listing subcontractors whose contract value exceeds 1/2 of 1% of Initial Contract Sum. If there will be no subcontracts, submit the form and state "NA" on the list.

6.0 CONFIRMATION OF TERMS (please initial your understanding of each item)

- 1. The Bidder is familiar with BLL's Safety Program, including, but not limited to, Falls Mandate, pre-task planning, drug testing, and site orientation, and hereby includes all labor, material, and equipment costs necessary to ensure participation and compliance with the Program. _____
- 2. The Bidder is familiar with all insurance and bonding requirements for this Project, including Bidder's carrier's rating requirements. _____
- 3. If successful, the Bidder agrees to execute Bovis' contract **WITHOUT EXCEPTION.** _____
- 4. The Bidder agrees to the terms of the Project Labor Agreement (PLA) and further agrees to execute the Letter of Assent in Section 01395. _____
- 5. The Bidder is familiar with the College's policy as outlined in PLA Article III to encourage the training and employment of apprentices who are, or have been students of City College and to hire construction workers from among the residents of San Francisco and to make a particular effort to employ workers living in the impacted Chinatown/North Beach neighborhood and the surrounding zip codes of 94102, 94104, 94108, 94109 and 94133. Additionally Bidder acknowledges that the San Francisco Community College District seeks to strengthen enforcement of local hiring provisions by recognizing the 35% local hiring goal developed by the PLA Joint Administrative Committee. _____
- 6. The Bidder has included completed Pre-qualification forms and understands, at the discretion of City College of San Francisco and / or Bovis Lend Lease, Inc., that an inability to demonstrate financial stability, previous experience, or Safety performance may be cause for disqualification as non-responsive. As outlined in 7.0 below, the completed pre-qualification forms shall be submitted on bid day in a separate sealed envelope. _____
- 7. The Bidder is familiar with the College's "Small Local Business" and "Small Business" Enterprise programs and understands that failure to comply or offer a "good faith effort" may be cause for disqualification as non-responsive. _____
- 8. The Bidder has included all the allowances defined in Exhibit B.1 from the bid package in the Lump Sum Bid amount in section 3 above. _____

7.0 BID ATTACHMENTS (please initial your transmittal of the following bid documents)

ENVELOPE # 01 (SEALED ENVELOPE)

1. CCSF Prequalification Form – Ref. Section 00460 of the bid package.
2. Bovis Prequalification Form – Ref. Section 00465 of the bid package.

ENVELOPE # 02 (SEPARATE SEALED ENVELOPE)

1. Bid Form - 00415
2. Bid Bond or bid security as outlined in the documents.
3. List of Subcontractors - Ref. Section 00435
4. Non-Collusion Affidavit - Ref. Section 00450
5. SBE Rules, Regulations, and Forms – Ref. Section 01375; Form 1, 2, 3, 4, 5

8.0 BIDDER INFORMATION

TYPE OF ORGANIZATION:

(Corporation, Partnership, Individual, Joint Venture, etc.)

If a corporation, corporation is organized under the laws:

STATE OF _____.
(State)

NAME OF PRESIDENT OF THE CORPORATION:

(Insert Name)

NAME OF SECRETARY OF THE CORPORATION:

(Insert Name)

If A PARTNERSHIP, NAMES AND TITLES OF PERSONS SIGNING THE BID ON BEHALF OF BIDDER AND ALL GENERAL PARTNERS:

PERSONS SIGNING ON BEHALF OF BIDDER:

(Insert Names and Titles)

ALL GENERAL PARTNERS:

(Insert Names)

CALIFORNIA CONTRACTORS LICENSE(S):

(Classification)

(License Number)

(Expiration Date)

9.0 REQUIRED COMPLETED ATTACHMENTS

The documents listed as required as part of the Bid in Section 00210 Instructions to Bidders are submitted with and made a part of this Bid. To be considered responsive Contractor shall submit the required additional documents following receipt of Bids.

10.0 DECLARATION

I, _____, hereby declare that I am the
(Printed name)

_____ of _____
(Title) (Name of Bidder)

submitting this Bid Form; that I am duly authorized to execute this Bid Form on behalf of Bidder; and that all information set forth in this Bid Form and all attachments hereto are, to the best of my knowledge, true, accurate, and complete as of its submission date.

I declare, under penalty of perjury, that the foregoing is true and correct and that this declaration was executed at: _____ (Name of City if within City, otherwise Name of County), State of _____, on _____.
(State) (Date)

(Signature)

END OF SECTION

EXHIBIT B.1

Bid Package 7.20 Concrete Curb, Gutter, Sidewalk, Striping and Graphics ADDENDUM #5

This scope includes all drawings and specifications issued up to and including Bulletin #3 dated February 22, 2010 for both the Main (Lots 9 & 10) Building and the Annex (Lot 5) Building.

SUBCONTRACTOR'S SPECIFIC SCOPE OF WORK

A) General Project Description:

Lot 5, the Annex Building is a new construction 4 story building with a basement and 3 elevators located in Chinatown/North Beach between Kearny Street and Columbus Avenue off Washington Street. The Annex Building consists of an auditorium, laboratories, culinary laboratory and classrooms. The structure consists of a poured in place mat slab, elevated concrete slabs with concrete columns and shear walls. The exterior façade incorporates GFRC panels with a window wall system.

Lots 9 & 10, the Main Building is a new construction 14 story building with a basement with 6 elevators located in Chinatown/North Beach at the intersection of Kearny Street and Washington Street. The Main Building consists of administrative offices, library, lounge, classrooms, work stations, faculty offices, and laboratories. The structure consists of poured in place sub-grade footers and grade beams, slab on grade, elevated concrete slabs with concrete columns and shear walls, and a structural steel supported roof. The exterior façade incorporates GFRC panels with a window wall system with designated areas for customized frit glazing panels.

The construction area will typically be segregated from public areas and deliveries and access are to be as indicated on the project logistics plan. Further details of the existing site and project logistics are given in Exhibit J.1 – Logistics Plan. Subcontractor is responsible for changes made to this document as the site changes, through the course of construction.

1.1 GENERAL SCOPE OF WORK

Unless specifically noted otherwise, this scope applies to all work including the Lots 9 & 10 Main Building and the Lot 5 Annex Building

Summary: The intent of the Contract Documents is that this scope of Work shall include all work, both necessary and incidental, to install the Curbs, Gutter and Sidewalks for the City College of San Francisco, Chinatown / North Beach Campus, Main Building and Annex Building.

This Scope of Work is intended to define, but not limit, the scope of work to be performed by the Subcontractor. The Scope of Work shall include all necessary labor, materials, accessories, equipment, hardware, fasteners, tools, layout, supervision, coordination, hoisting, scaffolding, submittals, shop drawings, samples, mockups, packaging, trucking, freight, delivery, off-site parking for crews, permits, lane closure permits, and certified flagmen, insurance, overhead, profit, fringe benefits, taxes and all other services and charges, and shall be in accordance with the Contract Documents, complete in every respect, for the referenced scope and related work for this project.

The Drawings and Specifications are to be treated by Subcontractor as “scope” documents which indicate the general scope of the project in terms of the architectural design concept, the overall dimensions, the type of structure and other systems. The Drawings and Specifications do not indicate or describe all items required for the proper completion of the Work and are intended to delineate systems, indicate intent, with specific inference that the systems outlined are intended to be fully operational systems totally furnished, supplied with necessary basics and auxiliaries and be fully ready for Owner’s acceptance and use. The below listed items in this scope of work are not intended to exclude any other items of work required by the Architect, Engineer, MEPF consultant, Department of State Architect Inspection, code consultant, acoustic consultant and/or Contractor or which may be required by local code or good construction practice. At a minimum, the best commercial trade practices will be required throughout the work. All Curbs, Gutter and Sidewalks at both buildings is to be complete and finished in every respect.

- A) Bidder, if successful, shall enter into a Subcontract with Bovis Lend Lease, Inc. as provided in the sample Subcontract format in Section 00530, without modification. No subcontractor riders, subcontractor terms and conditions, etc. will be accepted or allowed. Through-out the course of this exhibit, the bidder may be referenced as the Subcontractor, Bovis Lend Lease, Inc. as the Contractor and City College of San Francisco (CCSF) as the owner.
- B) Per the Agreement with the District, all change order overhead is limited to 10% on direct work and 5% profit. All lower tier work is limited to 10% overhead and 5% profit, with a first tier profit of 5% (no additional overhead). Labor costs will be based on current prevailing wages. Reference Exhibit D for additional information on labor/unit rates.
- C) The District’s Builder’s Risk policy allows for a \$25,000 deductible on all occurrences. If the Subcontractor is found to have contributed to an action that gives rise to a claim against the Owner’s Builder’s Risk (BR) policy, requiring the District to seek reimbursement from Contractor for the deductible, Subcontractor will in turn reimburse Contractor the full or pro-rated amount of the deductible cost paid to the District on their behalf. Should the work of this Subcontractor be damaged due to no fault of this Subcontractor or of another entity from which the deductible may be recovered, the amount reimbursed to this Subcontractor for the Curbs, Gutter and Sidewalks shall be reduced by the full or pro-rated amount of the deductible.
- D) All work shall be in compliance with the Project Labor Agreement (PLA). Subcontractor acknowledges this project’s Project Labor Agreement, along with the requirement for certified payrolls (Reference Subcontract Exhibit P and specification section 01385 for details on certified payroll requirements). Any penalty assessed by the District or the State against Contractor for this Subcontractor’s failure to comply with required payments or recordings will be charged against this subcontract, including all processing costs and additional penalties.
- E) The Chinatown / North Beach project is scheduled to be a LEED Gold facility. Provide all documentation necessary to support recycling content quantities or other sustainable information in a timely manner and no later than the time that the standard project literature submittals for the Curbs, Gutter and Sidewalks are submitted. Any construction debris generated by the work shall be processed in accordance with Specification Section 01505 and other LEED requirements.
- F) The prime contract with the District outlines strict durations for notifications and change order pricing requirements. Subcontractor understands these requirements and agrees that failure to respond within the time requirements as detailed or requested by Contractor will void Subcontractor’s ability to recover under the terms of the agreement.
- G) Subcontractor understands and has reviewed the Bovis Lend Lease, Inc.’s Insurance Requirements per Exhibit C and includes all insurance premium costs in the base subcontract amount to provide all insurance coverage as outlined in the Exhibit including the \$5 million coverage for commercial general liability insurance.

- H) License numbers indicated on the Invitation to Bid are presented for information only. Bidders/Subcontractors are instructed to inquire and comply with all State requirements.
- I) All bidders must be familiar with current labor agreements which may or may not be included in Attachment A of the Project Labor Agreement. Subcontractor is required to sign and return the Letter of Assent no later than 10 days of the Notice of Award of this Subcontract acknowledging the Project Labor Agreement.
- J) The work at the Main Building and Annex Building may, depending on the development of the project schedule, occur concurrently or may not occur contiguously. This subcontract includes all costs associated with either possibility, i.e. the Subcontractor needs to crew up to work both buildings simultaneously or needs to demobilize after completing work at one building and then remobilize to do the work at the other building. Refer to Exhibit G for additional schedule detail.
- K) The base subcontract amount does not include the performance and payment bond premiums. Once the subcontractor submits the bonds per the format included in Exhibit F, then the Contractor shall issue a change order to the Subcontractor for the premium amount depicted on the bond form. No mark-ups allowed on the bond premium costs. Upon request by the Contractor, Subcontractor shall provide performance and payment bonds with dual obligees, the Contractor and the Owner.
- L) All work shall be completed in accordance with the Performance Schedule (Exhibit G) distributed as part of the Bid Documents. Subcontract price also specifically includes all labor wage increases that may occur through the duration of this project. The costs of any overtime required to meet the activity durations as outlined in the Exhibit G schedule is included in the subcontract price.
- M) This Subcontractor is familiar with the College’s policy as outlined in PLA Article III to encourage the training and employment of apprentices who are, or have been students of City College and to hire construction workers from among the residents of San Francisco and to make a particular effort to employ workers living in the impacted Chinatown/North Beach neighborhood and the surrounding zip codes of 94102, 94104, 94108, 94109 and 94133. Additionally Subcontractor acknowledges that the San Francisco Community College District seeks to strengthen enforcement of local hiring provisions by recognizing the 40% local hiring goal developed by the PLA Joint Administrative Committee. Subcontractor shall submit a plan within 2 weeks of Subcontract award

1.2 SPECIFIC SCOPE OF WORK

1. Provide all labor materials, supervision, detailing, tools, equipment and appurtenances as required to perform the work per the Division 0 – Project Requirements and Division 1 General Requirements –Inclusive. In addition to the requirements of the Project Manual, all of the work shall be performed pursuant to the contract Drawings. All subcontract specification sections and drawings are listed in Subcontract Exhibit A.
2. Note that the drawing & specification references below are intended as examples only to clarify the work of this scope. This does not relieve the Subcontractor from reviewing all the documents and including all of the work for a full scope, even if the drawing & specification is not referenced in this Exhibit. All items are supply and install unless noted otherwise. In addition to Exhibit “A” which lists all drawings, specifications and reference documents which are part of this bid package, the following lists drawings and specifications that the Bid Package Contractor is to pay particular attention to:

Spec Section	Description	Main Bldg	Annex Bldg
02050	Demolition	X	X
02220	Excavation, Backfill and Compaction	X	X

02518	Concrete Pavers		X
02705	Paving and Resurfacing (Updated in Bulletin #3, 2/22/10)	X	X
02775	Concrete Curbs Gutters and Sidewalks	X	X
Drawing	Description	Main Bldg	Annex Bldg
D1.01	Demolition (where applies) (Revised in Bulletin #3, 2/22/10)	X	X
C1.02	New Utility Plan	X	X
C2.01	New Sidewalk Grading Plan	X	X
C3.01, C3.02	Civil Details (where applies) (C3.01-Revised in Bulletin #3, 2/22/10)	X	
C3.01, C3.02	Existing and New Grading		X
C4.01, C4.02	Civil Details (C4.01-Revised in Bulletin #3, 2/22/10)	X	X
A2.01	Site Plan	X	X
A4.02	Enlarged Café Plan, Annex (Revised in Bulletin #3, 2/22/10)		X
A8.02	See details 12, 15 and 16	X	
A8.25	See details 1 and 15		X
S2.B1	Structural Basement Plan (where applies)		

1. Subcontractor to provide complete demolition of existing and installation of new concrete curb, gutter, sidewalk, accessible walk off pads at building entrances, accessible exterior ADA ramps, pavers, pavement edging, bollards, pavement striping and sidewalk graphics. Include all related equipment and scope as described on the drawings, including but not limited to truncated domes, rebar, formwork, and finishing. Subcontractor to coordinate with other trades. Coordinate clearances with Architectural and Structural drawings.
2. Subcontractor to remove all items as shown in the demolition plan for the Annex and Main Building, sheets D1.01, including but not limited to all surface material, truncated domes, and saw cutting at edge of new concrete sidewalk, typ.
3. Subcontractor to provide finish compact grade, per the drawings and specifications, beneath all finished work, after removing existing sidewalks and curb/gutters per the demolition drawings D1.01 for the Main and Annex Buildings and IIs Lane. Subcontractor to provide a minimum of 12 (twelve) inches of final grading beneath the finish material, compacted, prior to when sidewalk and site accessories are installed.
4. Subcontractor to repair/reinstall any and all existing conditions that are to remain and that were damages or removed to perform the work including but not limited to asphalt and concrete in roadway, utility vault and box covers, street signs, street lights, traffic lights, newspaper boxes and sidewalk accessories such as trash cans and hydrants. Bid Package Contractor to replace in-kind at contractor's expense.
5. Subcontractor to utilize "USA" to survey all underground items prior to demolition. If in the process of removing or demolishing items, the Subcontractor uncovers or damages other items such as **existing** utilities, the contractor must report the incident to Bovis Lend Lease and to the Authority having jurisdiction (AHJ) within 24 hours and then, at the direction of the Contractor, repair the utility to the satisfaction of the Contractor.
6. Subcontractor to remove and replace all sidewalks and concrete pavers, including but not limited to IIs Lane, an alley which connects the back of the Main building and the Annex Building, as well as the café area adjacent to the Annex Building. The area of IIs Lane extends form Main Building gridline 6 (six) to Annex Building gridline 3.5 (three point five).
7. Subcontractor to verify all under sidewalk and under curb/gutter work is installed prior to installation. This includes but is not limited to all utility conduit, low voltage, footing for all site accessories, and footings for all lightpoles and signage.
8. Subcontractor to verify location and elevation of all utilities, pull boxes, manholes, vault covers, and all other items that are to be level with the finished sidewalk. See details shown on sheets C-3.01 and C-3.02 for the

- Main building and sheets C4.01 and C-4.02 for the Annex. Subcontractor to adjust all in sidewalk, in asphalt, and in paver boxes and accessories to meet final location and elevation. Anything requiring adjustment greater than 6 (six) inches **up or down**, subcontractor to inform the Contractor there is something that is the wrong location or elevation within 24 hours. Subcontractor will not place any finish material until Subcontractor confirms the correct location and elevation of all existing utilities.
9. Subcontractor to provide temporary asphalt patching for all utility tie-ins. Patching to be installed for all disabled accessibility.
 10. Subcontractor to provide and install top 12 (twelve) inches of backfill (for finished grade) over basements with 95% compaction, per structural drawings.
 11. Subcontractor to install all joints in sidewalk per site plans, A2.01 for both buildings and finish the concrete sidewalks with a medium or heavy broomed as defined in 02775specification.
 12. Subcontractor to provide and install all joints at building edges with all joint filler and sealant material. See details on sheets A8.02 and A8.25 along with other applicable details.
 13. Subcontractor to provide and install 6 (six) bollards with footings in locations directed by the Contractor. Subcontractor to assume bollards to be 6" diameter removable stainless steel, 48" minimum in height, with recessed, lockable insertion joint in sidewalk. Subcontractor to assume a footing of 24 inches on each of three sides.
 14. Subcontractor to match existing elevation and slope of existing sidewalks where new sidewalk meets existing. Subcontractor to provide a score joint at this location.
 15. Subcontractor to install all sidewalks, café area and curb ramps where shown in drawings and will adhere to all Federal State and Local Accessibility Guidelines. This includes but is not limited to all flat pads in front of building entrances, cross slopes, and all recessed sidewalk equipment.
 16. Subcontractor to verify that all flat pads at each building entrance be level and at the elevations of the entrance/exit door thresholds within Federal, State and Local accessibility guidelines.
 17. Specifications and Drawings for ALL trades are to be carefully examined for determination of the total Scope of Work extent and for interfacing / coordination with other relative trades.
 18. Subcontractor to coordinate with all existing sidewalk accessories, including but not limited to streetlights, traffic signs, trash cans, newspaper boxes, fire hydrants etc. Bid Package Contractor to coordinate with the authority having jurisdiction for each item for its removal and replacement during construction.
 19. Subcontractor acknowledges visiting the project site to determine existing conditions, site access, and existing improvements that pertain to this scope of work. Subcontractor shall be responsible to inspect area for any non-conforming work and substrates by other trades prior to proceeding and report this to the attention of the Contractor prior to proceeding. Subcontractor shall provide written notice should any work produce a conflict and/or produce a non-warrantable system due to the work of others. Written notice shall be provided in sufficient time to correct said conflicts without delay to the schedule. Commencement of work in an area by this Subcontractor shall be deemed to imply that this Subcontractor accepts the conditions of the area. Subcontractor's responsibility for field verifying all location of wall dowels, location of curb dowels, location and elevation heights of floor drains, etc. If any discrepancies are noted and identified, then this Subcontractor shall notify the Contractor in writing immediately.
 20. Subcontractor to provide and install all new curbs and gutters per the drawings and specifications. Subcontractor to provide and install 24 inch minimum width of roadway asphalt and compacted base at the edge of the curbs and gutters per State Caltrans and City standards, along the entire length of street at both buildings.. **This includes a 24 inch wide swath of asphalt and baserock to match the existing conditions along Kearney, Washington and Columbus Aves at all new curbs. Subcontractor is responsible for all required permits, including but not limited to encroachment and closure permits. Subcontractor to see General Scope Exhibits "B" and "J" for lane closure and flagmen requirements.**
 21. Subcontractor is solely responsible for properly laying out their work and for all lines and measurements for all of the work executed under this scope of work. Subcontractor is responsible for the maintenance of reference lines and benchmarks.
 22. Subcontractor to off-haul all unused soil, concrete and rebar and any other deleterious material at contractor's expense.
 23. Bid Package Contractor to coordinate with all building systems that penetrate the sidewalk, including but not limited to roof drains, gas lines and conduit.
 24. Subcontractor to provide and install all concrete pavers in the café area of the Annex Building. Per drawing A4.02 of the Annex, Subcontractor to provide and install all ~~12x12~~ pavers, integrally colored, supported on

- traffic engineered base. Subcontractor to use Uni-lock 3000 series pavers. 50% of pavers to be “chardonnay tan” and “mineral ice gray” see specification section 02518 and sheets C4.01 & A4.02, updated in Bulletin #3, for concrete pavers and paver base requirements. Subcontractor to include all City DPW requirements for all pavers including slip resistance requirements. Subcontractor to install pavers with all required cutting and accessories for a complete installation.
25. Subcontractor to provide all truncated domes and grooved warning stripes on the curb cuts and as required by the Federal ADAAG and California Title 24.
 26. Subcontractor to provide and install imported compacted engineered backfill over all sewerlines and stormlines from both buildings to the point of connection in the street per Civil Drawings, C-1.02. Subcontractor to install and compact the fill per specification 02220. Depth and size of sewer and stormline trenches to be determined from the civil drawings. Subcontractor to replace the City street section over the trench per City Standards and CalTrans for finished streets and obtain all permits and provide all flagman to perform this work. Subcontractor to provide all required flagman (minimum of 2 at all times of street work), cones and signage per Exhibit “J” of this bid package for all street and lane closures. Subcontractor to include in bid the requirement to do this work on weekends and in the evenings. Subcontractor to offhaul and remove all material, including asphalt, concrete and baserock.
 27. Per Main Building sheet C3.01, Subcontractor to relocate traffic light in its entirety and place it on new footing. Subcontractor to provide and install new footing per Caltrans standards. Subcontractor to coordinate with and provide all permits from City Agencies, including but not limited to San Francisco Dept of Public Works. Subcontractor to supply and install all electrical conduit, christie boxes, etc to provide a code-compliant, working, relocated traffic light. Subcontractor to remove and dispose of existing traffic light footing, recycling all required debris per LEED requirements. Subcontractor to provide and install all imported, compacted engineered fill and offhaul all excavated and unused fill. Supply and installation of all electrical conductors, wiring, and final connections by the electrical subcontractor.
 28. Subcontractor to provide and install new curb ramp at Columbus Ave sidewalk per RFI 643response attached, for pedestrian access during construction. Subcontractor to remove curb ramp at the end of construction, when approved by the Contractor, and replace with new sidewalk and curb/gutter per final civil drawings. Subcontractor to offhaul all concrete and debris per LEED requirements.
 29. Subcontractor to provide and install all finished grade, engineered fill, baserock and sand under all sidewalks, asphalt paving and concrete pavers where shown and called out in the drawings and specifications. This includes, but not limited to, aggregate base shown in detail C3.01 for the main building and the base for asphalt paving in the response to RFI 642.

D. CLARIFICATIONS

1. Bovis Lend Lease will provide the General Building Permit. Bid Package Contractor to obtain and pay for any and all other permits required for the work including submittal process (as applicable) required by the City, State or other authority having jurisdiction over the work. This includes street and lane closure permits. Subcontractor to coordinate with Contractor for closure time and location.
2. All final exterior work will need to be approved by the City Department of Public Works. Subcontractor to include this approval in the bid package.
3. Subcontractor to provide for all temporary closures, lighting, barricades, signaling, enclosures, signage, storage, flagmen or other support systems necessary to transport and install your work. This includes street and lane closure coordinated with the Contractor.
4. Bid Package Contractor to provide special attention to sidewalk and street closure including all City and County of San Francisco Department of Public Works permits and other permits and clearance required by other authorities having jurisdiction. This work may include off hours, evenings and weekend work which is to be included in the bid. Bid Package Contractor to include all pedestrian safety, rerouting, cones, flagmen, and other equipment to ensure safety and adherence to the Safety Management System (SMS's) including the Global Minimum Requirements (GMR's), for the public and other workers.

5. Subcontractor to provide special provisions for access to the building by all trade workers, inspectors, and others requiring access to the building. Subcontractor to take this required access into account when planning the work, and work around the access to maintain it at all times. Work at the entrances to the buildings will be performed evenings and off hours at a premium. Subcontractor to include the possibility of platforms with 42" guardrails both sides at the entrances. Platforms with guardrails to be located anywhere the change in grade is greater than 30 inches.
6. Subcontractor shall provide separate submittal for each building. Subcontractor to provide electronic copies of all submittals whenever appropriate. Shop drawings containing a large number of pages or large samples can be submitted in hard copies but all others should be emailed to Bovis Lend Lease.
7. Include all overtime, multiple crews, shift work and multiple mobilizations required to meet the durations indicated for the completion of the work per Bovis Lend Lease's Construction Schedule (Exhibit G). Subcontractor acknowledges that schedule is preliminary in nature and may be revised at the Contractor's sole discretion. Include premium time labor for all required off-hours work.
8. Subcontractor acknowledges that he has reviewed the Construction Schedule and has included in his bid all necessary material, expediting costs, and overtime or shift work required to meet that schedule.
9. Provide all sales taxes and use fees as needed to perform your work. Include all trade specific permit fees as applicable.
10. Per the City's Requirements, the delivery of large equipment and materials cannot occur between 7:00am and 9:00am or between 3:00pm and 5:00pm. Provide Bovis Lend Lease team with 48 hours written notice before any large deliveries. Subcontractor is cognizant of the pedestrian and vehicular traffic issues surrounding the Campus.
11. Facilitate all shop and field testing as indicated to be performed by others. Make inspection requests in adequate time as to not delay the project.
12. Subcontractor shall clean up their work debris and materials, along with trash and dirt generated by your field crews, on a daily basis, or as needed to keep the work area safe and presentable.
13. Any construction debris generated by the work shall be processed in accordance with Specification Section 01505 Construction Waste Management.
14. Subcontractor is familiar with the project site and surrounding area and has included any costs that may be required for offsite parking and transportation. No on-site parking is allowed. Subcontractor to provide for the potential for parking costs within the scope.
15. Hoist or crane will not be available for any lifting or hoisting for this scope.

E. SCHEDULE

1. Reference Subcontract Exhibit G for schedule details. In summary, the majority of the on-site work of this scope is expected to take place no earlier than ~~6/4/11~~ 4/1/11 and no later than 1/31/2012. There shall be no claims for delays or labor or material cost increases for work falling within this time frame.
 2. Subcontractor will submit their proposed Site Specific Safety Plan (SSSP) for the entire scope of work, including any required shop drawings, sketches and/or load distribution diagrams to Contractor 28 days after the signing of the Subcontract. All other required submittals (most notably shop drawings showing layout of all in-wall backing (installed by others)) shall be submitted to Contractor no later than 56 days after the signing of the Subcontract.
 3. Subcontractor acknowledges that Subcontractor has reviewed the Project Construction Schedule Exhibit G and has included in Subcontractors bid all necessary material, expediting costs, and overtime or shift work required to meet that schedule. This overtime work does not include the overtime work added in the allowances.
 4. Subcontractor to schedule all deliveries and get that schedule approved by the Contractor.
- G. REQUESTS FOR INFORMATION: See attached responses to the following RFI's. These responses are to be included in Subcontractor's bid:

RFI 214: Showing revised Civil Drawings for the Main Building, to be included in this bid package.
RFI 234: Showing the sidewalk section, IIs Lane, baserock, etc.
RFI 237: rebar in sidewalk section per City Standards.
RFI 642: Curbs/Gutters/Sidewalk questions
RFI 643: New curb ramp at Columbus Ave.

H. MISCELLANEOUS OTHER WORK

Funds listed below and elsewhere within this scope are to be included in the base bid. They are indicated for additional or Allowance work and are only to be spent at the express written direction of The Contractor. Unless otherwise noted, exclude from the base subcontract all overhead and profit for these expenditures. When and if spent, the Subcontractor will be allowed to mark up the direct costs in accordance with the subcontract terms and will be reimbursed accordingly. Reimbursement will be by time and material tickets signed by Contractor's superintendent or by a documented pre-negotiated lump sum change order. All unused funds will be deducted from the Subcontract via deductive Change Order and returned to the Contractor and Owner.

1. Miscellaneous Other Work included in the Base Subcontract – FOR MAIN BUILDING (Lot 9 & 10) ONLY.

- a. Subcontractor will include a \$25,000 additional allowance in the base bid to grind and offhaul portions of existing asphalt and provide & install new asphalt for Washington and Kearney Sts. per City and Caltrans requirements. This allowance is to be used for patching and repair work only and is in addition to what is in the base bid. This amount is not intended to cover the cost of any possible future requirement (not currently shown on the documents) for grinding and repaving an entire street or streets for their entire block..

2. Miscellaneous Other Work included in the Base Subcontract – FOR ANNEX BUILDING (Lot 5) ONLY.

- a. Subcontractor will include a \$25,000 additional allowance in the base bid to grind and offhaul portions of existing asphalt and provide & install new asphalt for Columbus Ave. per City and Caltrans requirements. This allowance is to be used for patching and repair work only and is in addition to what is in the base bid. This amount is not intended to cover the cost of any possible future requirement (not currently shown on the documents) for grinding and repaving an entire street or streets for their entire block.

I. SAFETY

Subcontractor is responsible for compliance with all safety measures described in Exhibit J at a minimum, and is also responsible for compliance with the following additional safety rules. The following rules are part of the Bovis Lend Lease, Inc. Global Minimum Requirements (GMR) which apply to all Bovis projects.

1. Housekeeping must be effectively managed on all projects to maintain a clean and tidy work site, e.g. by having dedicated service gangs and/or a system (composite crew clean-up teams) for dealing with poor performing contractors (contra-charging) (GMR 2.7).
2. Deliveries (GMR 2.1 – Section 2.6):
 - a) All deliveries must be documented (including vehicle details, drivers/ passengers) must sign in and out as visitors. Non-essential passengers should remain outside the site, whenever possible.

- b) Drivers must be briefed on site rules, including emergency procedures and receive a visitors card and badge. This must include the statement that unloading work must be performed by workers who have received and orientation.
 - c) Drivers must be provided specific direction (through a site plan) to delivery drop off point and met by a worker/ supervisor who will receive the delivery. Flaggers/ spotters must be provided where necessary to ensure safe passage to drop off point.
3. Trained flaggers must be used in heavy construction areas for short durations (maximum, one 8 hours shift) until appropriate controls can be implemented. Any personnel working in close proximity to vehicle traffic must wear high visibility apparel. Where delivery traffic interacts with personnel, a flagger (with appropriate high visibility apparel) must be provided. Specifically where reversing operations may occur. Heavy equipment operations must be segregated from pedestrians and appropriate exclusion zones employed. (GMR 2.4 – Section 5.0, 6.0, & 7.5).
4. Operator Competence (GMR 2.5)
- a) All vehicle operators must be competent (certified/licensed) to operate the equipment and vehicles they are assigned to and be trained on their use and particular hazards associated with the site. Checks must be made to ensure the competence of drivers. All operators must follow the manufacturers' instructions and site rules - while operating, seatbelts must be worn and mobile phones turned off. Vehicles must be braked/stabilized during loading/unloading and checks made to ensure loads are adequately secured before leaving the site.
 - b) All operators must provide appropriate documentation, meeting all federal state local and company requirements including (GMR 2.5 – Section 1.2):
 - i. Drivers license
 - ii. Operators card/ license
 - iii. Operators training/ history/ experience
 - iv. Training certificates specific to equipment
 - c) Seat Belts - All persons operating equipment on site must wear a seat belt at all times. Passengers in any vehicle on site must wear a seat belt. No person should ride a vehicle as a passenger on site unless a seat and a seat belt is provided and the operator is authorized to carry passengers on site (GMR 2.5 – Section 2.1 to 2.3).
 - d) Mobile Phones - Mobile phones must not be used by persons operating equipment on site. Operators using mobile phones can only do so if the vehicle is switched off and is parked in an authorized area. Operators who continue to use their mobile phone while operating equipment and who have been previously warned should be removed from the site (GMR 2.4 – Section 3.0 to 3.3).
5. Powered Mobile Equipment (GMR 2.6) - All powered mobile equipment and vehicles must be suitable by design and adequately maintained to enable them to conduct their assigned tasks safely. Regular checks by competent persons must be carried out and recorded to ensure all mobile equipment and vehicles are maintained in a safe condition following the manufacturers' instructions (Ref: to Global Safety Alert on Quick Hitch Systems). All powered vehicles (excluding scissor/aerial lifts and other work equipment not designed for use on public highways) must be in good condition fitted with effective brakes, horn, lights, reflectors, seat belts, visibility aids (e.g. mirrors or CCTV) and visual or audible warning systems (lights or alarms).

J. EXCLUSIONS

- a. Tree grates
- b. Trench at Ills Lane
- c. Misc Steel at transformer vault...including sidewalk lift out panel. **Finish Material over all vaults is included in this Bid Package.**
- d. Manhole covers and ladders

- e. Chain link fence and gates
-
- K. Small Business Participation = 25%

Request for Information 0234

Detailed, RFIs Grouped by RFI Number

CCSF Chinatown North Beach Campus	Project # 62940300	Bovis Lend Lease, Inc.
808 Kearney Street & 624 Washington Street San Francisco, CA 94111	Tel: 415-512-0586 Fax: 415-512-0589	

RFI #: 0234	Date Created: 2/8/2010
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Answer Company	Answered By	Author Company	Authored By
Bovis Lend Lease, Inc. 11A Phelan Avenue San Francisco, CA 94112	Chris Sullivan	Bovis Lend Lease, Inc. 11A Phelan Avenue San Francisco, CA 94112	Chris Sullivan

Co-Respondent	Author RFI Number
Main & Annex	

Subject	Discipline	Category
Main & Annex - Curbs, Gutters Sidewalks	Civil	Drawing Clarification

Cc:	Company Name	Contact Name	Copies	Notes
	Elmast Inspection Services	Eleni Kalligeros	1	
	Elmast Inspection Services	George Kalligeros	1	
	Bovis Lend Lease, Inc.	Jessica Vass	1	
	Barcelon & Jang	Jim Fong	1	
	Elmast Inspection Services	Peter Van Eekelen	1	
	Esherrick Homsey Dodge & Davis	Scott Arford	1	

Question	Date Required: 2/15/2010
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In order to complete Bid Pkg 7.20- Sidewalk, Curbs, Gutters, please provide following information:

Lot 5- Annex Bldg

1. Base conditions under new sidewalks and pavers (e.g., class II A.B., sand, etc). The Annex Drawing A4.02 calls for "traffic engineered base", but it is not defined anywhere.
2. Per Annex sheet A2.01, The paving section for the asphalt paving on ILS Lane.
3. Per Annex sheet A2.01, Paving sections of asphalt and concrete to be removed on ILS Lane.

Lots 9 and 10- Main Bldg

1. Per detail C-3.01, please provide Base conditions under new sidewalks.
2. Per detail D-1.01, please provide paving section of asphalt and concrete to be removed on ILS Lane.

Suggestion	
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Answer	Date Answered:
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02.08.10, EHDD, S. Arford

1. The sidewalk detail on C-4.01 has been revised to show 4-inches of aggregate base over 6-inches of compacted subgrade. Aggregate base is already specified in Section 02705.
2. A paver detail has been added to C-4.01.
3. Drawing D-1.01 calls out the removal of asphalt on ILS Lane. Drawing D-1.01 has been revised to remove the demolition hatching from the existing stoops.

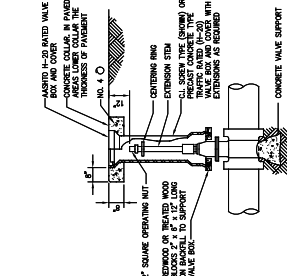
Lot 9/10

1. See 10/A8.03. The sidewalk detail on C-3.01 has been revised to show 4-inches of aggregate base over 6-inches of compacted subgrade.
2. The extent of demolition at ILS Lane is to be show in the LOT 5 drawings.

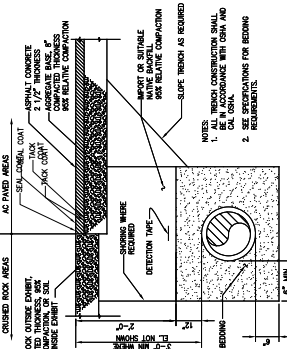
See Attached drawings which will be issued in Bulletin 3 on 2/22/10 - Lot 5: C4.01, D1.01 and Lot 9/10: C3.01.

Report Filter:

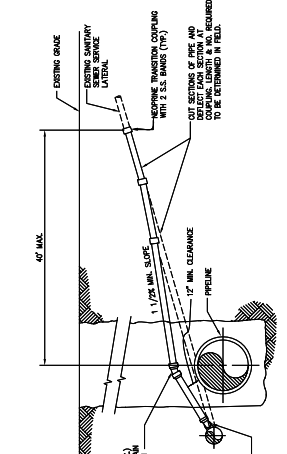
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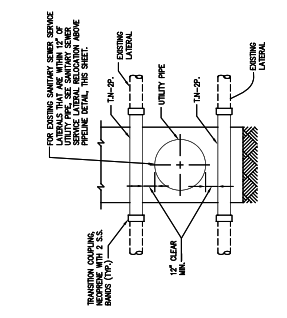
TYPICAL BURIED VALVE OPERATOR DETAIL
N.T.S.



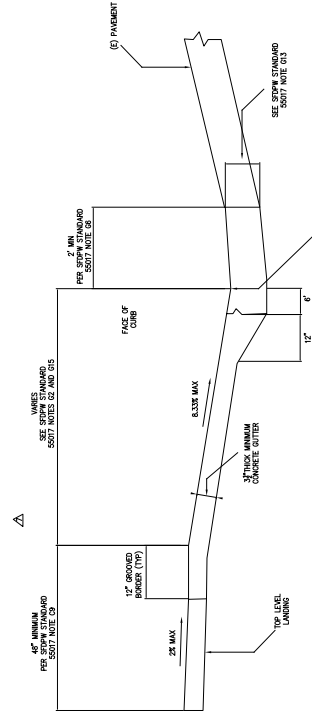
TYPICAL TRENCH DETAIL
SCALE: N.T.S.



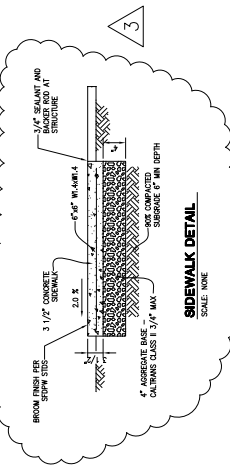
SANITARY SEWER SERVICE LATERAL RELOCATION ABOVE PIPELINE DETAIL
N.T.S.



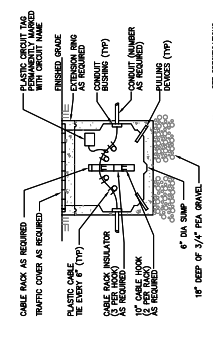
SEWER SERVICE LATERAL CROSSING DETAIL
N.T.S.



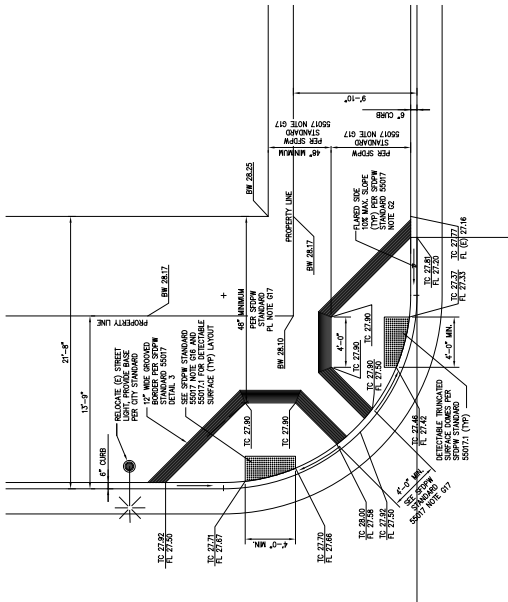
STANDARD CURB RAMP SECTION
SCALE: NONE



SIDEWALK DETAIL
SCALE: NONE



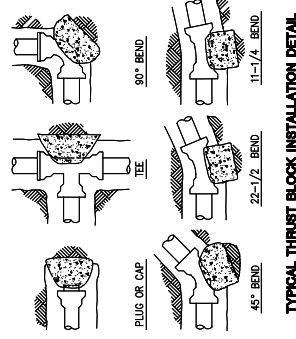
PRECAST CONCRETE HANDHOLE INSTALLATION
N.T.S.



STANDARD CURB RAMP PLAN
SCALE: 1/4\"/>

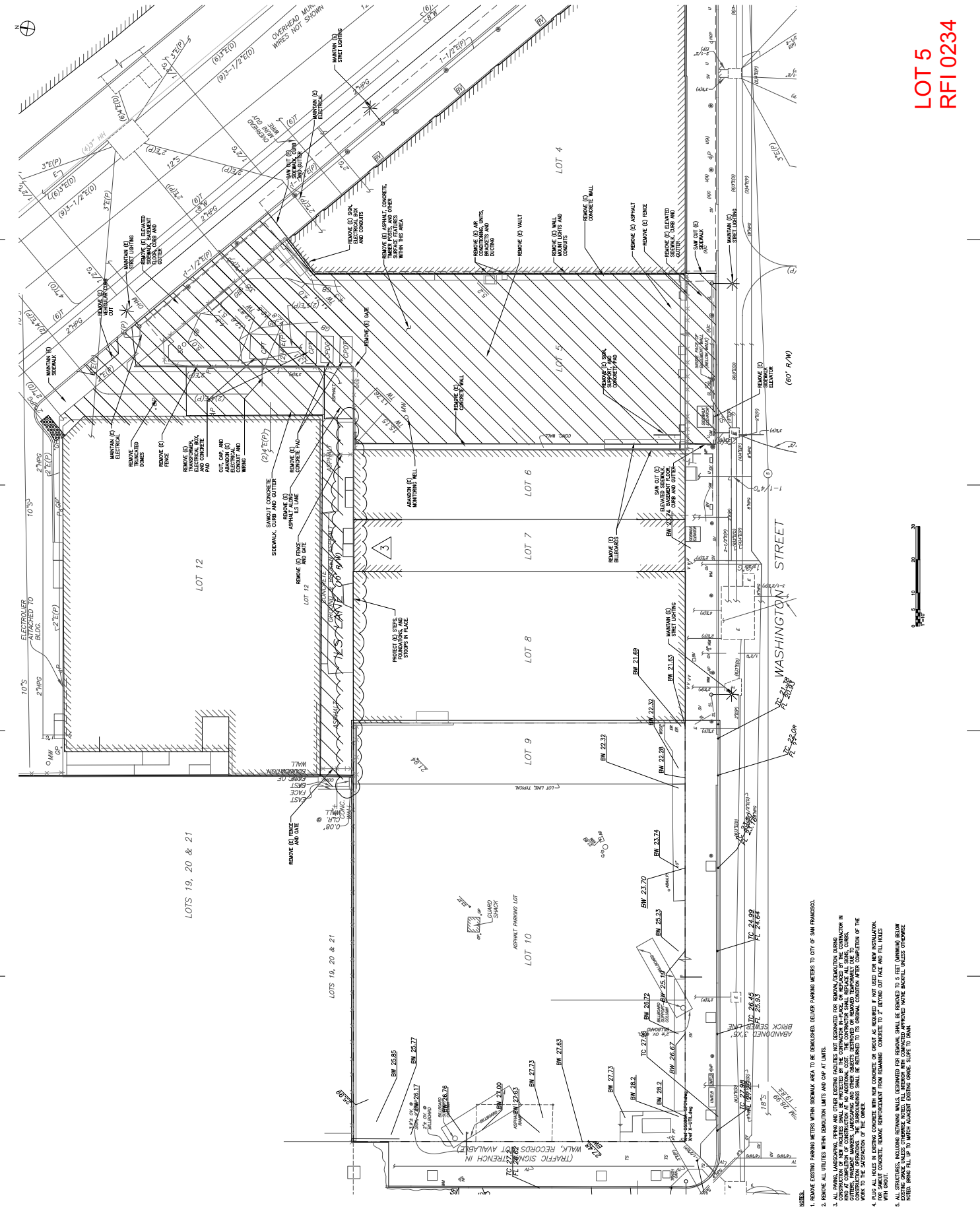
Thrust Block Size (in. x in. x in.)	90° Bend	11-1/4° Bend
45" x 22-1/2" x 11-1/4"	1	2
45" x 22-1/2" x 11-1/4"	2	3
45" x 22-1/2" x 11-1/4"	3	4
45" x 22-1/2" x 11-1/4"	4	5
45" x 22-1/2" x 11-1/4"	5	6
45" x 22-1/2" x 11-1/4"	6	7
45" x 22-1/2" x 11-1/4"	7	8
45" x 22-1/2" x 11-1/4"	8	9
45" x 22-1/2" x 11-1/4"	9	10
45" x 22-1/2" x 11-1/4"	10	11
45" x 22-1/2" x 11-1/4"	11	12
45" x 22-1/2" x 11-1/4"	12	13
45" x 22-1/2" x 11-1/4"	13	14
45" x 22-1/2" x 11-1/4"	14	15
45" x 22-1/2" x 11-1/4"	15	16
45" x 22-1/2" x 11-1/4"	16	17
45" x 22-1/2" x 11-1/4"	17	18
45" x 22-1/2" x 11-1/4"	18	19
45" x 22-1/2" x 11-1/4"	19	20
45" x 22-1/2" x 11-1/4"	20	21
45" x 22-1/2" x 11-1/4"	21	22
45" x 22-1/2" x 11-1/4"	22	23
45" x 22-1/2" x 11-1/4"	23	24
45" x 22-1/2" x 11-1/4"	24	25
45" x 22-1/2" x 11-1/4"	25	26
45" x 22-1/2" x 11-1/4"	26	27
45" x 22-1/2" x 11-1/4"	27	28
45" x 22-1/2" x 11-1/4"	28	29
45" x 22-1/2" x 11-1/4"	29	30
45" x 22-1/2" x 11-1/4"	30	31
45" x 22-1/2" x 11-1/4"	31	32
45" x 22-1/2" x 11-1/4"	32	33
45" x 22-1/2" x 11-1/4"	33	34
45" x 22-1/2" x 11-1/4"	34	35
45" x 22-1/2" x 11-1/4"	35	36
45" x 22-1/2" x 11-1/4"	36	37
45" x 22-1/2" x 11-1/4"	37	38
45" x 22-1/2" x 11-1/4"	38	39
45" x 22-1/2" x 11-1/4"	39	40
45" x 22-1/2" x 11-1/4"	40	41
45" x 22-1/2" x 11-1/4"	41	42
45" x 22-1/2" x 11-1/4"	42	43
45" x 22-1/2" x 11-1/4"	43	44
45" x 22-1/2" x 11-1/4"	44	45
45" x 22-1/2" x 11-1/4"	45	46
45" x 22-1/2" x 11-1/4"	46	47
45" x 22-1/2" x 11-1/4"	47	48
45" x 22-1/2" x 11-1/4"	48	49
45" x 22-1/2" x 11-1/4"	49	50
45" x 22-1/2" x 11-1/4"	50	51
45" x 22-1/2" x 11-1/4"	51	52
45" x 22-1/2" x 11-1/4"	52	53
45" x 22-1/2" x 11-1/4"	53	54
45" x 22-1/2" x 11-1/4"	54	55
45" x 22-1/2" x 11-1/4"	55	56
45" x 22-1/2" x 11-1/4"	56	57
45" x 22-1/2" x 11-1/4"	57	58
45" x 22-1/2" x 11-1/4"	58	59
45" x 22-1/2" x 11-1/4"	59	60
45" x 22-1/2" x 11-1/4"	60	61
45" x 22-1/2" x 11-1/4"	61	62
45" x 22-1/2" x 11-1/4"	62	63
45" x 22-1/2" x 11-1/4"	63	64
45" x 22-1/2" x 11-1/4"	64	65
45" x 22-1/2" x 11-1/4"	65	66
45" x 22-1/2" x 11-1/4"	66	67
45" x 22-1/2" x 11-1/4"	67	68
45" x 22-1/2" x 11-1/4"	68	69
45" x 22-1/2" x 11-1/4"	69	70
45" x 22-1/2" x 11-1/4"	70	71
45" x 22-1/2" x 11-1/4"	71	72

NOTES:
1. THRUST BLOCKS SHALL BE PAIRED AGAINST UNDISTURBED SOIL AND SHALL BE SET TO A MINIMUM OF 12" BELOW FINISHED GRADE.
2. BEARING AREAS SHOWN IN TABLE ARE BASED UPON 200 PSF CAPACITY. BEARING AREAS SHALL BE ANALYZED IF EXISTING BEARING AREAS ARE TO BE MAINTAINED.
3. PROVIDE THRUST BLOCKS AT ALL ENDS AND FITTINGS.



TYPICAL UNDERGROUND DUCT BANK SECTION
N.T.S.

LOT 5
RFI 0234



1. REMOVE EXISTING PARKING METERS WITHIN SHERMAN AREA TO BE DEMOLISHED. DELIVER PARKING METERS TO CITY OF SAN FRANCISCO.
2. REMOVE ALL UTILITIES WITHIN DEMOLITION LIMITS AND CAP AT LIMITS.
3. ALL PAVING, LANDSCAPING, FENCING AND OTHER EXISTING FACILITIES NOT DESIGNED FOR DEMOLITION/DEMOLITION WORK SHALL BE DEMOLISHED AND REMOVED. ALL EXISTING UTILITIES SHALL BE REMOVED AND REPAIRED OR REINSTALLED AT THE CONTRACTOR'S RISK AND AT AN ADDITIONAL COST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN FRANCISCO AND THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN FRANCISCO AND THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN FRANCISCO AND THE STATE OF CALIFORNIA.
4. FILL UP ALL HOLES IN EXISTING CONCRETE WITH NEW CONCRETE OR GROUT AS REQUIRED IF NOT USED FOR NEW INSULATION. CONCRETE SHALL BE COMPACTED TO THE ORIGINAL FINISH GRADE. CONCRETE TO BE DEMOLISHED SHALL BE REMOVED TO 4 FEET (MINIMUM) BELOW FINISHED GRADE. ALL EXISTING CONCRETE SHALL BE DEMOLISHED TO 4 FEET (MINIMUM) BELOW FINISHED GRADE. ALL EXISTING CONCRETE SHALL BE DEMOLISHED TO 4 FEET (MINIMUM) BELOW FINISHED GRADE. ALL EXISTING CONCRETE SHALL BE DEMOLISHED TO 4 FEET (MINIMUM) BELOW FINISHED GRADE.
5. ALL STRUCTURES, INCLUDING RETAINING WALLS, DESIGNED FOR DEMOLITION SHALL BE DEMOLISHED TO 4 FEET (MINIMUM) BELOW FINISHED GRADE. ALL EXISTING CONCRETE SHALL BE DEMOLISHED TO 4 FEET (MINIMUM) BELOW FINISHED GRADE. ALL EXISTING CONCRETE SHALL BE DEMOLISHED TO 4 FEET (MINIMUM) BELOW FINISHED GRADE.

Request for Information 0237

Detailed, RFIs Grouped by RFI Number

CCSF Chinatown North Beach Campus 808 Kearney Street & 624 Washington Street San Francisco, CA 94111	Project # 62940300 Tel: 415-512-0586 Fax: 415-512-0589	Bovis Lend Lease, Inc.
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RFI #: 0237	Date Created: 2/15/2010
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Answer Company	Answered By	Author Company	Authored By
Esherick Homsey Dodge & Davis 500 Treat Avenue San Francisco, CA 94110	Denise Zuniga	Bovis Lend Lease, Inc. 11A Phelan Avenue San Francisco, CA 94112	Chris Sullivan

Co-Respondent	Author RFI Number
Main & Annex	

Subject	Discipline	Category
Main & Annex -Curbs, Gutters, Sidewalks	Civil	Drawing Clarification

Cc:	Company Name	Contact Name	Copies	Notes
	Elmast Inspection Services	Eleni Kalligeros	1	
	Elmast Inspection Services	George Kalligeros	1	
	Bovis Lend Lease, Inc.	Jessica Vass	1	
	Barcelon & Jang	Jim Fong	1	
	Elmast Inspection Services	Peter Van Eekelen	1	
	Esherick Homsey Dodge & Davis	Scott Arford	1	

Question	Date Required: 2/22/2010
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1. ANNEX-On sheet C-2.01 at Washington street the drawings call for a new curb and gutter but at Columbus avenue no new curb and gutter is called out for. Please confirm that no new curb and gutter is required at Columbus avenue.
2. MAIN & ANNEX - On sheet C-2.01 drawings call out for the new sidewalk slab on grade per details on sheet C-4.01. The typical sidewalk detail on C-4.01 calls for 6"min below finish grade. What should the overall thickness be? Also, city of San Francisco standard details call for 3.5"min sidewalk with no reinforcement but the detail on C-4.01 calls for #4 rebar at 12"o.c.e.w. Please clarify overall thickness and reinforcement for sidewalks?

Suggestion

Answer	Date Answered:
---------------	-----------------------

02.18.10, KJ, G. Cummings

1. ANNEX - a new curb and gutter is required on both Washington Street and Columbus Avenue.
2. MAIN and ANNEX - the sidewalk detail on C-3.01 (MAIN) and C-4.01 (ANNEX) was revised as part of RFI 234. This new detail should be used. Reinforcement, aggregate base, and compacted subgrade are required for the new sidewalks.

Report Filter:

Report Description:



Request for Information 0642

Detailed, RFIs Grouped by RFI Number

CCSF Chinatown North Beach Campus 808 Kearney Street & 628 Washington Street San Francisco, CA 94111	Project # 62940300 Tel: 415-512-0586 Fax: 415-512-0589	Bovis Lend Lease, Inc.
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RFI #: 0642 **Date Created: 3/10/2010**

Answer Company	Answered By	Author Company	Authored By
Bovis Lend Lease, Inc. 11A Phelan Avenue San Francisco, CA 94112	Chris Sullivan	Bovis Lend Lease, Inc. 11A Phelan Avenue San Francisco, CA 94112	Chris Sullivan

Co-Respondent	Author RFI Number
Annex	

Subject	Discipline	Category
Annex - Civil- Curb, Gutter, Sidewalk Questions	Civil	Confirmation

Cc: Company Name	Contact Name	Copies	Notes

Question **Date Required: 3/17/2010**

- ANNEX: On sheet C-3.02 the drawings call for a new AC pavement at ILS Lane. The only section detail for new AC pavement is on C-4.01 shown in the typical trench detail. The detail calls for 2.5"thk AC on 8"thk Aggregate Base. Please confirm that this is the correct section.
- ANNEX: On sheet C-3.02 a new concrete trench drain is shown. On BP7.20 exclusions the trench drain is listed. Please confirm that the trench drain is to be furnished and installed by others.
- ANNEX: On sheet A4.02 12"x12" pavers on traffic engineered base are called out for. What should the section for traffic engineered base be? Please clarify.

Suggestion

Answer **Date Answered: 3/10/2010**

- Asphalt and base section shown in the trench drain detail is correct.
- Trench drain is to be furnished and installed by Misc metals subcontractor. Subcontractor to coordinate with Misc metals.
- See concrete paver section detail on sheet C4.01. See Bulletin #3 drawings.



Request for Information 0643

Detailed, RFIs Grouped by RFI Number

CCSF Chinatown North Beach Campus **Project # 62940300** **Bovis Lend Lease, Inc.**
808 Kearney Street & 628 Washington Street San Francisco, CA 94111 Tel: 415-512-0586 Fax: 415-512-0589

RFI #: 0643 **Date Created: 3/10/2010**

Answer Company	Answered By	Author Company	Authored By
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Co-Respondent	Author RFI Number
Annex	

Subject	Discipline	Category
Annex - Civil- New Curb Ramp	Civil	Drawing Clarification

Cc: Company Name	Contact Name	Copies	Notes
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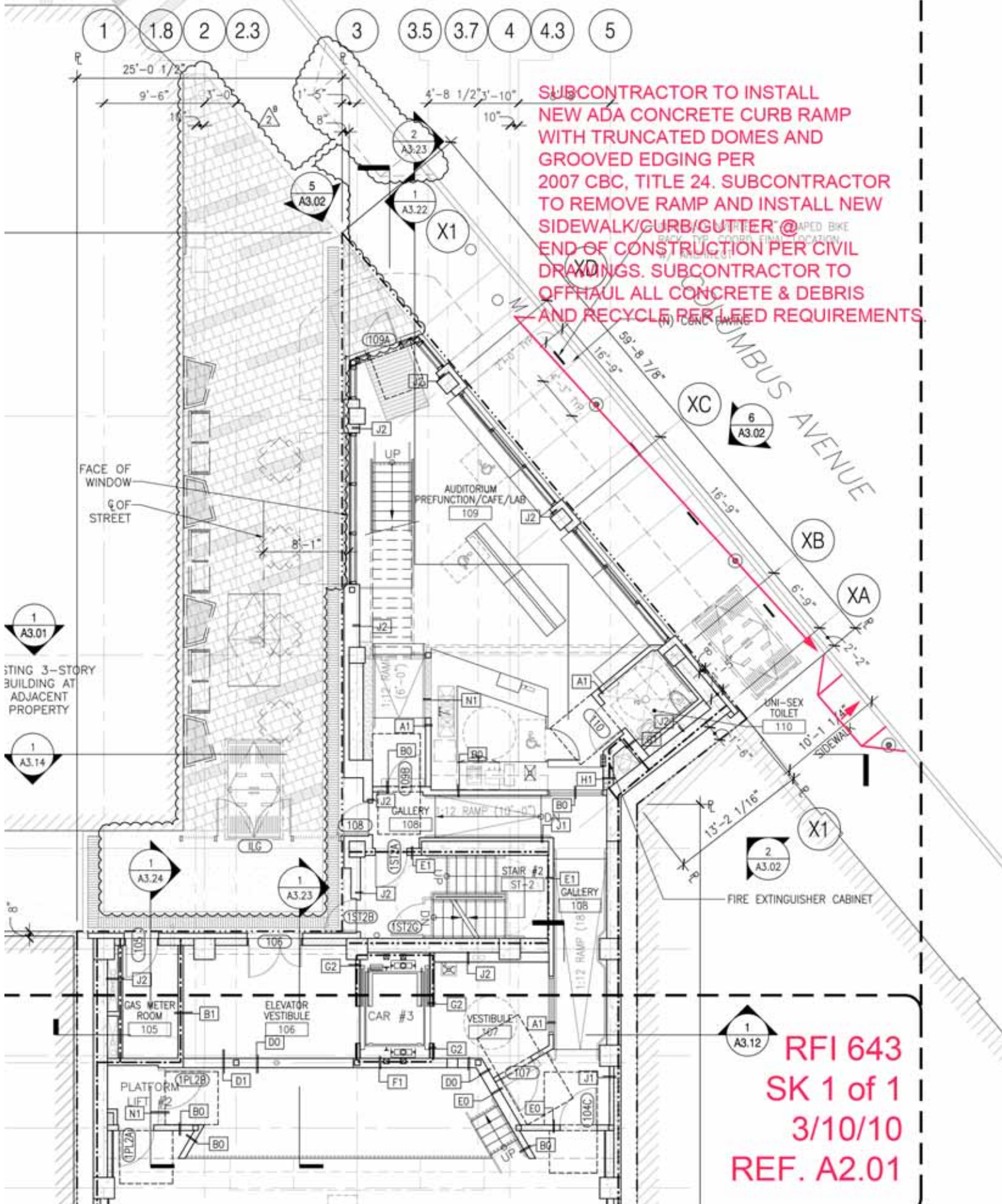
Question **Date Required: 3/17/2010**

Suggestion

Answer **Date Answered: 3/10/2010**

See attached sketch 1 of 1 for new ADA curb ramp along Columbus Ave. Reference drawing A2.01, Annex

EET



SUBCONTRACTOR TO INSTALL NEW ADA CONCRETE CURB RAMP WITH TRUNCATED DOMES AND GROOVED EDGING PER 2007 CBC, TITLE 24. SUBCONTRACTOR TO REMOVE RAMP AND INSTALL NEW SIDEWALK/CURB/GUTTER @ END OF CONSTRUCTION PER CIVIL DRAWINGS. SUBCONTRACTOR TO OFFHAUL ALL CONCRETE & DEBRIS AND RECYCLE PER LEED REQUIREMENTS.

**RFI 643
SK 1 of 1
3/10/10
REF. A2.01**